

428 HISTORIC MABLETON - RESIDENTIAL DESIGN GUIDELINES

DESIGN GUIDELINES INTENT AND GOALS:

Produce a high quality living environment for all Historic Mableton residents;

Encourage renewed investment in Historic Mableton that is compatible with the existing character and context;

Clarify and enhance the relationship between new development, public streets and open spaces;

Protect significant natural features such as mature vegetation, street trees, historic structures and open spaces;

Maintain appropriate overall scale and pattern of development within the study area;

Consolidate service areas to minimize impact on public streets and open spaces;

Utilize the results from the 2001 Visual Preference Survey as the aesthetic basis for the guidelines.

APPLICABILITY:

The Mableton residential design guidelines are intended to assist architects, planners and developers to make more informed design decisions, based on community preference.

The guidelines are to be applied to all residential development within the study area as illustrated on the following page, and shall be applied to the review and approval of site plans and rezoning applications whenever residential uses are being considered.

Any developments that do not meet the design guideline standards, as determined by those in the site plan review process, may not receive building permits and/or rezoning approvals.

428.01 SINGLE FAMILY RESIDENTIAL DETACHED GUIDELINES

428.01.01 SITE PLANNING AND DEVELOPMENT PATTERN:

A. Preservation of the Natural Environment

- Natural features such as mature trees, rolling topography, streams and creek beds shall be preserved. Clear cutting of development sites shall be avoided, except as deemed appropriate by the Cobb County site plan review committee.

428.01.01 SITE PLANNING AND DEVELOPMENT PATTERN:

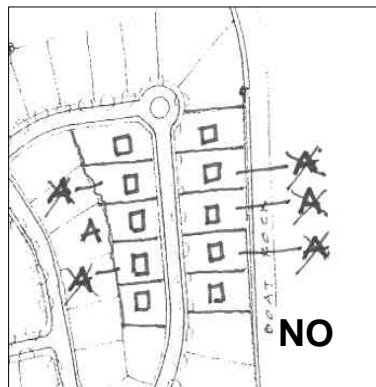
B. Building Setback

- Maintain existing setbacks within neighborhoods to ensure compatibility with the existing context and a uniform street edge. Setback Variations of +/- 10' are acceptable.

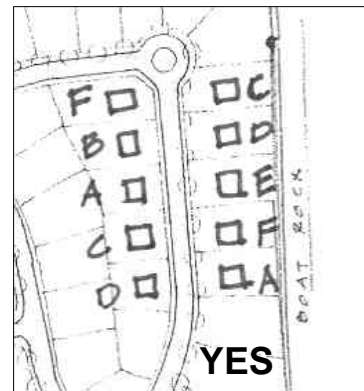


C. Building Orientation

- The primary building façade and entrance shall face the primary street.
- To avoid a monotonous street character, the same elevation shall not be repeated on adjacent homes or on two homes that are directly across the street from one another.



Repeating Street Facades



Varying Street Facades

D. Street Connectivity

- New single family homes shall be accessible via existing public streets. If a new street is required, they shall be compatible with existing public street system and shall connect through to existing streets.



- Cul-de-sacs are strongly discouraged, as are dead-end streets

E. Site Detail

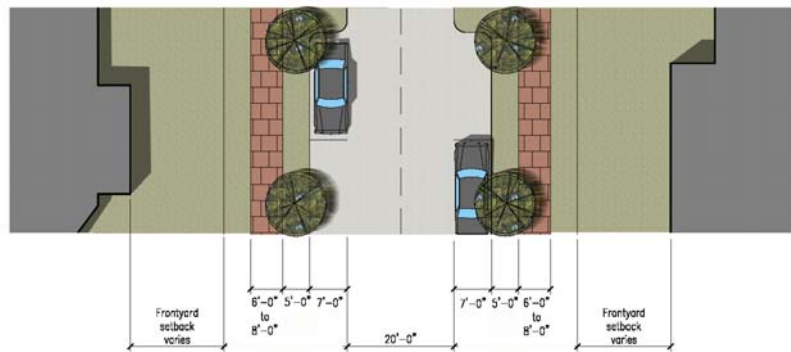
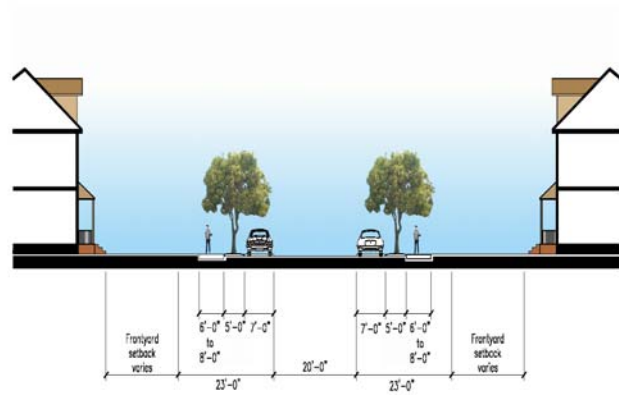
- Wherever possible, walkways shall be provided from existing sidewalks to the home front door entrance.



- Low, yard defining picket fences are encouraged to frame both the street and front yard and provide a visual separation between the public and private realm.

F. Street Section and Plan

- New streets servicing single family residential communities shall have two lanes and an adequate width to accommodate parallel parking on both sides of the street. Sidewalks shall be provided on both sides of the street, separated from the street by a landscaped buffer (see diagram F.1).



Typical SF Residential Street Plan

- Utility lines shall not be visible from the public street.

428.01.02 BUILDING FORM AND ARCHITECTURAL CHARACTER

A. Building Height, Bulk and Mass

- Please refer to the Cobb County Code of Ordinances, Article IV District Regulations – Section 134-191 for summary requirements for height and bulk for all single family zoning districts.
- Single family homes shall incorporate visually heavier , more massive elements at the base and visually lighter elements above the base. The upper floors shall not appear heavier or more massive than the base which is supporting it.

A. Building Height, Bulk and Mass (continued)

Heavier, more massive materials at the base of the home

- Infill residences should be compatible in scale and height with neighboring structures in order to blend, and not overwhelm them with disproportionate mass. The dominant existing scale of an established neighborhood should be maintained. Special attention should be given to the design of a two-story structure or addition constructed in a predominately one-story neighborhood to ensure that it is similar in scale and mass with surrounding structures and contributes to a harmonious transition between new development and the existing neighborhood.



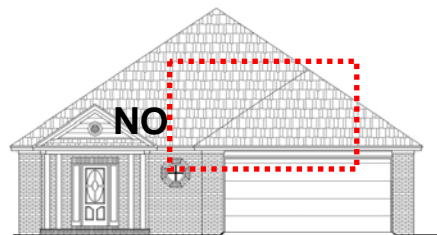
Massive scale infill housing does not
Fit into existing context



Compatible scale infill development

B. Garage Doors

- Wherever possible, garage doors shall not be visible from the street. Side entrance and detached rear garages are encouraged if the site can accommodate.



Garage dominates façade



Side entry garage

428.01.02 BUILDING FORM AND ARCHITECTURAL CHARACTER

B. Garage Doors (continued)

If garages are to be located on the front façade, they should have individual doors for each space. Garage doors should have trims either of stone, brick or wood.



Single door, 2-car garages



Single-door garages are encouraged

C. Porches

- Entry porticos and front porches are encouraged. Porches add to the façade composition and promote community interaction. Porch depth should be a minimum of 6 feet to allow for furniture placement.



Front porches add character to the façade and promote community

- Columns for porches should generally be of 8-inch diameter or 8-inch x 8-inch square for single storey porches and 10-inch diameter or 10-inch x 10-inch square for two storey porches. The height of porches should be a minimum of 8 feet. Porch column bay should not exceed the height of the porch. Narrower bays are preferred. Twin columns should be minimum 4 inches of gap between them.

D. Windows

- Vertically proportioned windows are encouraged. Stone or brick key stone lintels add to the character of the windows. Shutters are also encouraged and should be sized and mounted to appear operable. Shutter style can either be paneled or louvered.



Vertically proportioned windows
Are encouraged



Bay windows add to
façade composition

- Special windows such as bay windows, round, arched, oval, diamond can be used to add additional character to the façade. Varying window types help to help identify individual homeownership is encouraged.

E. Doors

- Exterior door should be composed of solid material such as wood, metal or equivalent quality.



**6 and 8 panel doors with sidelights provide articulation and add
light to the interior vestibule**

428.01.02 BUILDING FORM AND ARCHITECTURAL CHARACTER

F. Roof

- The roof form on new single family homes shall be broken down or varied to reflect neighborhood scale and to provide visual interest by providing elements such as dormers, overhangs, varied slopes and varying rooflines.



Varying roof forms help break down the mass and provide visual interest

G. Exterior Materials and Colors

- Acceptable exterior materials include brick, stone, concrete (Hardiplank), wood and architectural shingles. Acceptable roof materials include concrete, slate, roofing tile, wood shakes and asphalt. The building's exterior color scheme shall utilize primarily muted, neutral, or earth tone type colors. The primary use of bright, intense, or extreme colors shall not be permitted in Historic Mableton. Overall, the colors shall correspond to those colors found within the existing Historic Mableton study limits.



Examples of acceptable exterior materials

- Material continuity shall be provided between different sides of the home.

428.02 TOWNHOMES

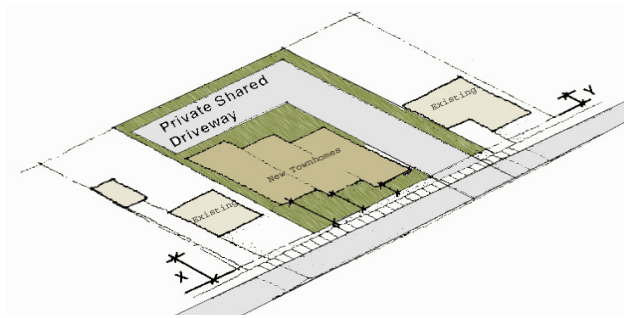
428.02.01 SITE PLANNING AND DEVELOPMENT PATTERN:

A. Preservation of the Natural Environment

- Natural features such as mature trees, rolling topography, streams and creek beds shall be preserved. Clear cutting of development sites shall be avoided, except as deemed appropriate by the Cobb County site plan review committee

B. Building Setback

- Maintain existing setbacks within neighborhoods to ensure compatibility with the existing context. Setback variations for townhomes of +/- 10' are acceptable.
- Stagger setbacks within townhome unit blocks by several feet to provide articulation between units and to break up the scale;
- Space shall be provided in the front for and entry, front stoop and landscaping between the public sidewalk and the private townhome



Setbacks shall be staggered but in-line with existing development

C. Building Orientation

- The primary building façade and entrance of a townhome block shall face the primary street.
- Create a street edge, based on a regular setback distance, to enclose and frame the street, with front doors facing the street.



Primary façade shall face major street at a regular setback distance.

428.02.01 SITE PLANNING AND DEVELOPMENT PATTERN:

D. Street and Access

- New townhome developments should be accessible from existing public streets. If new streets are required, they should be extended and integrated into the existing Mableton public streets system.
- Cul-de-sacs are strongly discouraged, as are dead-end streets.

E. Driveways and Parking

- Townhome garages/parking shall be located in the rear of the townhome units to reduce the impact of garage doors and asphalt parking on the façade.
- Private shared driveways shall be provided to townhome blocks to reduce the number of curb cuts and pedestrian/vehicular conflict points and allow for unobtrusive servicing.



Shared entrances reduce the number of curb

- Individual front garages and/or parking shall only be considered if rear lanes and shared driveways cannot fit.

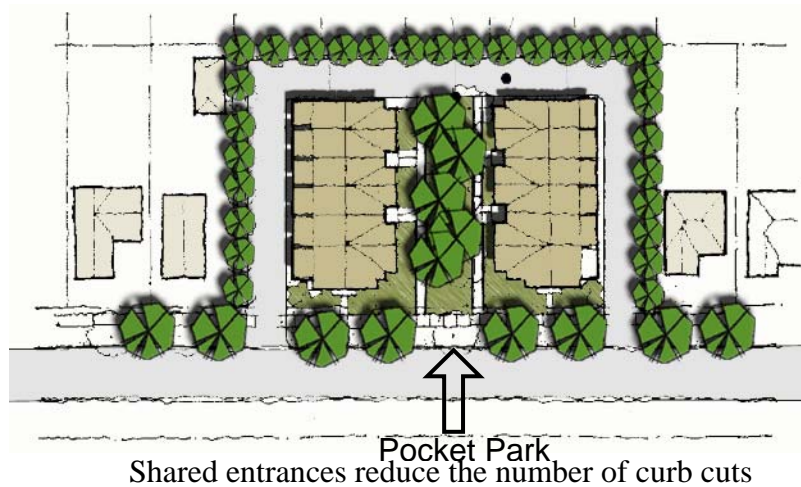


Rear garages and driveway enable garage door-free facades

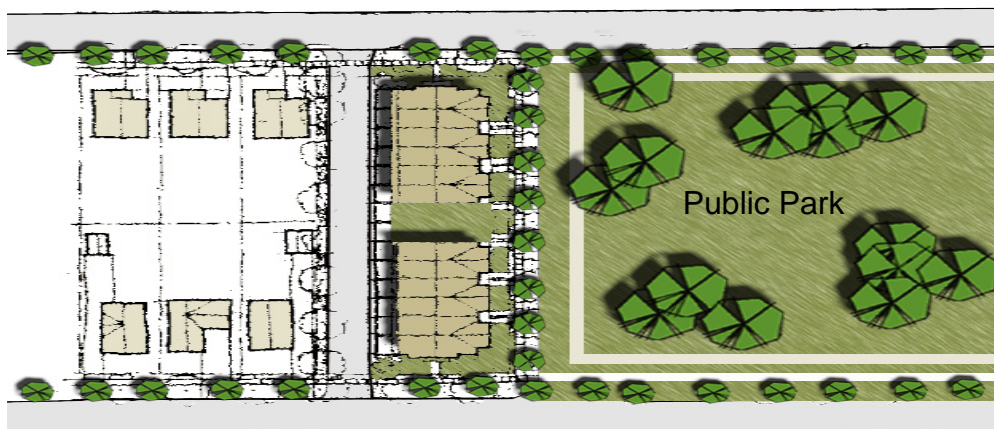
428.02.01 SITE PLANNING AND DEVELOPMENT PATTERN:

F. Open Space

- Integrate natural attributes within the development, and where possible, leverage as public features within accessible open space.
- Pocket parks of varying sizes are encouraged for both active and passive recreational activities. Primary façade should face pocket parks.



- Where possible extend park and open space networks through the block to encourage the safe use of these spaces by the public.
- Where existing parks are present, buildings should face parks and open spaces across a park right of way.

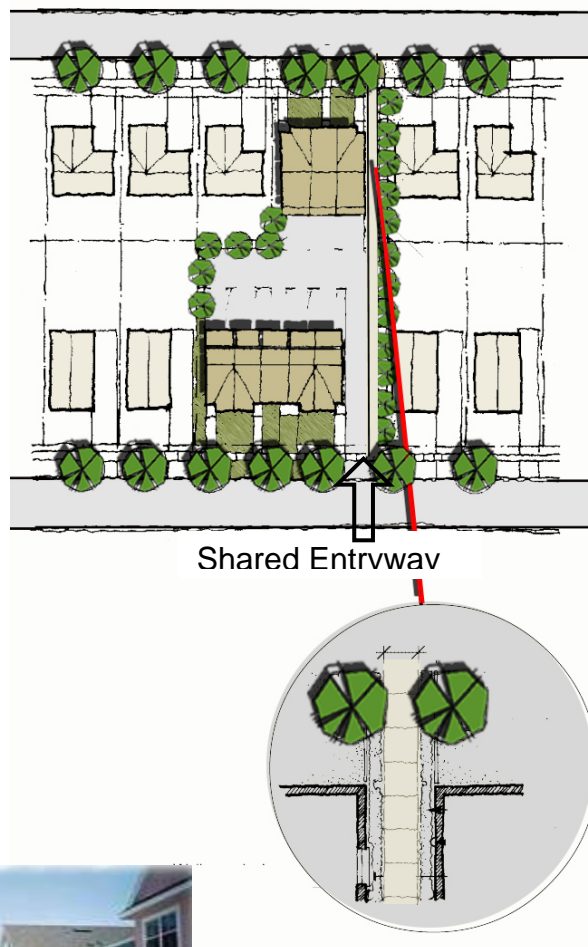


Where possible, buildings should face parks and open spaces

428.02.01 SITE PLANNING AND DEVELOPMENT PATTERN:

G. Walkways

- Townhome developments shall provide publicly accessible pedestrian walkway networks where appropriate so pedestrians can access their neighborhood services and amenities from the public street/sidewalk.
- Sidewalks are to provide easy, barrier free and direct access to public destinations;



Walkway Detail



Walkways should be provided for access to public destinations and adjacent developments

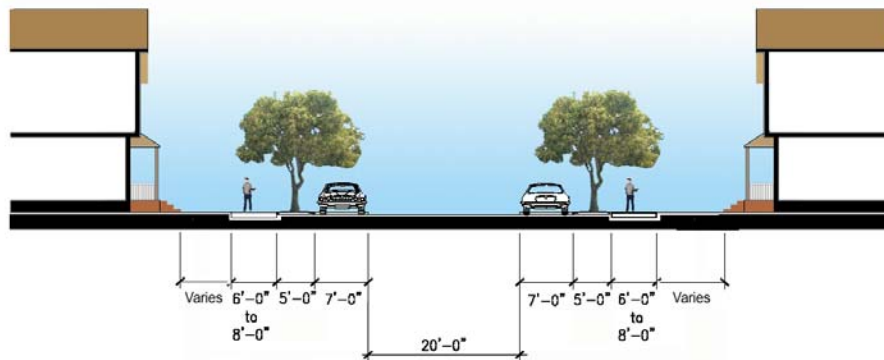
428.02.01 SITE PLANNING AND DEVELOPMENT PATTERN:

G. Walkways (Continued)

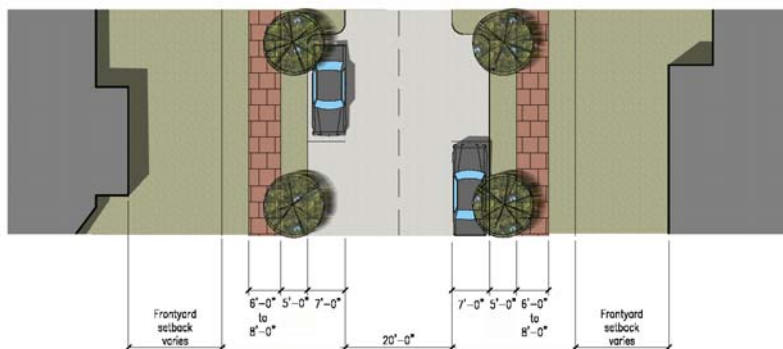
- Walkway consideration should be given to connect pedestrian routes to adjacent developments;
- Windows are to be provided along the building side which faces sidewalks to encourage safe pedestrian usage.
- Walkways are to be landscaped and well lit and are to be read as extensions of the existing public sidewalks and should therefore incorporate similar materials and streetscape elements.

H. Street Section and Plan

- New streets servicing townhome communities shall have two lanes and an adequate width to accommodate parallel parking on both sides of the street. Sidewalks shall be provided on both sides of the street, separated from the street by a landscaped buffer.



Typical SF Townhome Street Section



Typical SF Townhome Street Plan

428.02.01 SITE PLANNING AND DEVELOPMENT PATTERN:

H. Street Section and Plan (Continued)

- Utility lines shall not be visible from the public street
- The street proportion (the relationship between height of the building and the width of the street) shall allow for adequate sunlight, views and privacy.

428.02.02 BUILDING FORM AND ARCHITECTURAL CHARACTER:

A. Building Height, Bulk and Mass

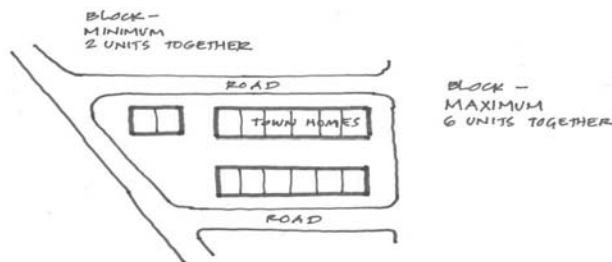
- Please refer to the Cobb County Code of Ordinances, Article IV District Regulations – Section 134-191 for summary requirements for height and bulk for all single family zoning districts. In general, townhomes should be either one or two stories in height.
- Townhomes shall incorporate visually heavier, more massive elements at the base and visually lighter elements above the base. The upper floors shall not appear heavier or more massive than the base which is supporting it.



Heavier, more massive materials at the base of the home

- Infill townhomes should be compatible in scale and height with neighboring structures in order to blend, and not overwhelm them with disproportionate mass. The total block length should not exceed five units with the minimum length being two units

Townhome block length
should not exceed five
units



428.02.02 BUILDING FORM AND ARCHITECTURAL CHARACTER:

B. Building Facade

- Building façade should vary in design and proportion between units so as not to read as a repetitious and monotonous design. A mix of façade designs helps to break up the unit mass and provides more visual interest from the street.



Varying unit facades within the townhome block help to articulate individual living units

C. Details and Articulation

- Townhomes shall incorporate details such as front porches, balconies, dormers, porticos, projecting chimneys on the roof, and roof line variations to enhance the character of the design and the townhome units.



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Examples of townhome details that add visual interest and break up mass.

428.02.02 BUILDING FORM AND ARCHITECTURAL CHARACTER:

D. Exterior Materials and Colors

- Acceptable exterior materials for townhomes include brick, stone, concrete (Hardiplank), wood and architectural shingles. Acceptable roof materials include concrete, slate, roofing tile, wood shakes and asphalt. The building's exterior color scheme shall utilize primarily muted, neutral, or earth tone type colors. The primary use of bright, intense, or extreme colors shall not be permitted in Historic Mableton. Overall, the colors shall correspond to those colors found within the existing Historic Mableton study limits.
- Material continuity shall be provided between different sides of the home.

428.03 MULTI-FAMILY/CONDO RESIDENTIAL

428.03.01 SITE PLANNING AND DEVELOPMENT PATTERN:

A. Preservation of the Natural Environment

- Natural features such as mature trees, rolling topography, streams and creek beds shall be preserved. Clear cutting of development sites shall be avoided, except as deemed appropriate by the Cobb County site plan review committee.



Mature trees shall be preserved

B. Building Orientation

- The primary multi-family/condo façade and entrance shall face the primary street or major access drives.



428.03.01 SITE PLANNING AND DEVELOPMENT PATTERN:

C. Open Space for Multi-Family/Condo Developments

- The *minimum* amount of open space within a multi-family/condo development shall be no less than 4% of the total site acreage; balconies can be applied to open space.
- Multi-family/condo units should be arranged to enclose open/common spaces. Natural areas can be leveraged as open space. Multi-family developments should include at least four of the following features within the usable open space:
 1. Mature trees
 2. Seating areas
 3. Pocket parks
 4. Pedestrian-scale site lighting
 5. Gazebos other similar gathering areas
 6. Play structures for children
 7. Multi-purpose paths/walkways
 8. Recreational amenities
- Areas that do not qualify as open space include public right of ways, streets and drives, parking lots and structures, land between buildings less than 40 feet wide, required setbacks, and retention or detentions areas.



Open space with seating and landscaping



Mature trees



Pocket park with benches

428.03.01 SITE PLANNING AND DEVELOPMENT PATTERN:

D. Streets and Access

- New multi-family/condo developments shall be accessible from existing public streets. If new streets are required, they should be extended and integrated into the existing Mableton public streets system.



Connectivity within multi-family developments shall be provided.

- Cul-de-sacs are strongly discouraged, as are dead-end streets.

E. Parking

- Off-street parking shall not be permitted between the primary street and the multi-family building façade.
- Parking lots and structures shall be internalized and oriented away from the street
- Off-street surface parking shall be broken up into smaller lots to reduce the visual impact of parking lots. Landscaping and designated pedestrian walks shall be provided within the parking lots.



Parking should be located in the rear of buildings away from streets

428.03.01 SITE PLANNING AND DEVELOPMENT PATTERN:

F. Pedestrian Access and Walkways

- Multi-family/condo developments shall provide publicly accessible pedestrian walkway networks where appropriate so pedestrians can access their neighborhood services and amenities from the public street/sidewalk.
- Sidewalks are to provide easy, barrier free and direct access to public destinations;



Walkways and sidewalks provide pedestrian access to
and within multi-family developments

- Walkway consideration should be given to connect pedestrian routes to adjacent developments;
- Windows are to be provided along the building side which faces sidewalks to encourage safe pedestrian usage.
- Walkways are to be landscaped and well lit and are to be read as extensions of the existing public sidewalks and should therefore incorporate similar materials and streetscape elements.

428.03.02 BUILDING FORM AND ARCHITECTURAL CHARACTER

A. Building Height, Bulk and Mass

- Please refer to the Cobb County Code of Ordinances, Article IV District Regulations – Section 134-191 for summary requirements for height and bulk for all multi-family/condo zoning districts.
- The maximum length for any one multi-family building will be 200 feet.



Multi-family development shall correspond to the existing residential scale.
Maximum building length of 200'

- If any portion of a multi-family/condo building is located directly adjacent to a lower density (single family detached or townhome) development, the end unit shall step down in scale on the adjacent end.

B. Character

- Each multi-family/condo building should have a consistent architectural theme. All sides of the multi-family/condo building shall be designed with the same level of architectural interest.



Consistent architectural themes tie the development together

428.03.02 BUILDING FORM AND ARCHITECTURAL CHARACTER

B. Character (Continued)

- All multi-family/condo building entries shall be pedestrian scaled.
- Multi-family/condo buildings shall incorporate visually heavier, more massive elements at the base and visually lighter elements above the base. The upper floors shall not appear heavier or more massive than the base which is supporting it.



Heavier, more massive materials at the base of the home.

C. Details and Articulation

- Multi-family/condo buildings shall incorporate details such as front porches, balconies, dormers, porticos, projecting chimneys on the roof, and roof line variations to enhance the character of the design and the townhome units.



Examples of details that add visual interest and break up mass

428.03.02 BUILDING FORM AND ARCHITECTURAL CHARACTER

D. Exterior Materials and Colors

- Acceptable exterior materials for multi-family/condo buildings include brick, stone, concrete (Hardiplank), wood and architectural shingles. Acceptable roof materials include concrete, slate, roofing tile, wood shakes and asphalt. The building's exterior color scheme shall utilize primarily muted, neutral, or earth tone type colors. The primary use of bright, intense, or extreme colors shall not be permitted in Historic Mableton. Overall, the colors shall correspond to those colors found within the existing Historic Mableton study limits.

428.04 RESIDENTIAL STREETSCAPE

A. Landscaping

- Maximize landscaping in both the public right-of-way and private lots;
- Provide street planting at 20' – 30' on-center spacing within the landscape buffer;
- Use a variety of native trees and ornamental shrubs on private property, adjacent to streets.



Street trees 20' – 30' O.C.



Native and ornamental vegetation



Streetscape environment ties together different size and style homes.

428.04 RESIDENTIAL STREETSCAPE

B. Streetscape Environment:

- Pedestrian scale period lighting is encouraged and should tie into the recently adopted South Cobb Regional Library lighting standard (see graphic B.1), or acceptable alternative.



The “Washington” light post, manufactured by Shakespeare with an “Acorn” fixture, manufactured by Cooper, shall be the standard street lighting fixtures throughout the study area

- Accent sidewalk pavers are encouraged to provide texture and scale to the pedestrian environment and shall reference the street pavers used around the South Cobb Regional Library (see graphic B.2), or acceptable alternative.
- New residential developments shall use the library standard streetscape benches and trash receptacles (see graphic B.4), or acceptable alternative. Additional streetscape elements such as tree grates, fences and railings shall also be compatible with the library standards.



The “Sienna Bench” assembled with a powder-coated cast aluminum frame and A+ grade recycled plastic lumber slats is to be used as the standard streetscape bench in the study area.



The Stadium Series SMB receptacles are to be used as the standard trash receptacle in the study area.